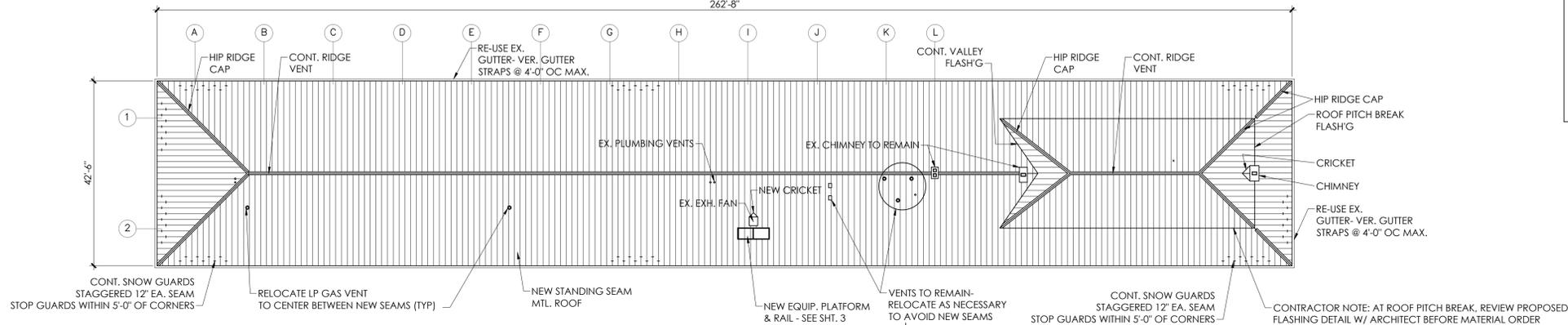


COMMERCE STREET

262'-8"



ROOF PLAN SKETCH

SCALE: 1/16" = 1'-0"

NOTE: EXISTING ROOF PENETRATIONS TO REMAIN MAY NEED TO BE RELOCATED SO PENETRATION IS CENTERED BETWEEN STANDING SEAMS.

ADD ALTERNATE #1

1. FULL NO COST TO OWNER WRITTEN INSTALLER LABOR AND MATERIAL REPLACEMENT WARRANTY OF TEN (10) YEARS FROM SUBSTANTIAL COMPLETION & OWNER ACCEPTANCE.

SEE SPECIFICATION SECTION 1.6.C

CODE INFORMATION

DESIGN CODE - 2012 VCC

PROJECT SUMMARY:

SCOPE OF WORK INVOLVES ROOF REPLACEMENT ONLY WITH NEW MECHANICAL AND PLUMBING PENETRATION FLASHINGS.

ANY PLUMBING, ELECTRICAL, AND HVAC SYSTEM WORK REQUIRING A PERMIT WILL BE FILED UNDER SEPARATE PERMIT BY MEP SUB-CONTRACTORS.

BUILDING PLANNING

BUILDING OCCUPANCY CLASSIFICATION
EXISTING:
B BUSINESS (GENERAL OFFICE)
A-3 ASSEMBLY (TOWN MUSEUM)

NO CHANGE PROPOSED TO EXISTING USE GROUP OR OCCUPANCY.

PROJECT BID INFORMATION

SKETCH PLAN INFORMATION PROVIDED FROM TOWN OF CULPEPER ARCHIVE DOCUMENTS TO SHOW GENERAL PROJECT INTENT. CONTRACTOR MUST VISIT THE SITE AND FIELD VERIFY EXIST. ROOF AREA, SIZE, PENETRATIONS & CONDITIONS.

THESE DOCUMENTS ARE PREPARED FOR BIDDERS EXPERIENCED WITH EXISTING METAL ROOF REPLACEMENT OVER OCCUPIED FINISHED SPACE. THE INTENT OF THIS PROJECT IS TO PROVIDE A COMPLETE, WEATHER-TIGHT REPLACEMENT ROOF FOR A CONTRIBUTING STRUCTURE OF THE CULPEPER DOWNTOWN HISTORIC DISTRICT.

SCOPE OF BASE BID PROJECT SUMMARY:

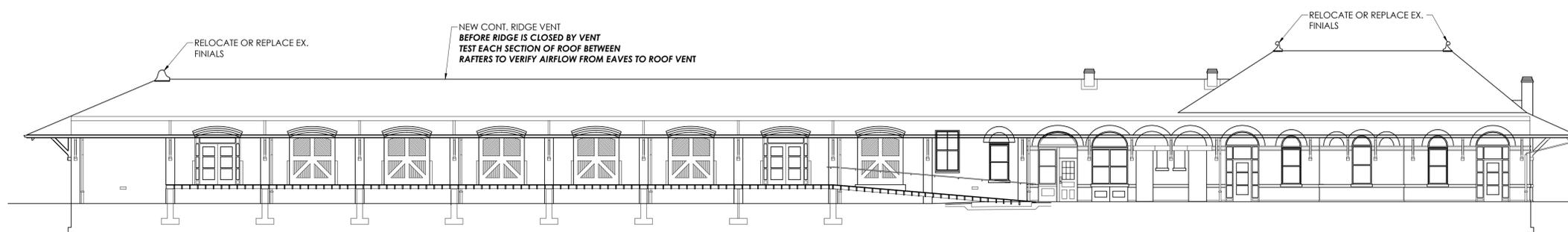
1. REMOVE EXISTING STEEL SHINGLE ROOFING & UNDERLAYMENT DOWN TO DRY & FIRM EXISTING ROOF DECK. IF EXISTING ROOF DECK IS WET IT MUST BE ALLOWED TO DRY PRIOR TO INSTALLATION OF NEW SHEATH'G.
2. REMOVE EX. ROOF VENTS WHERE INDICATED.
3. INSTALL NEW 5/8" OSB SHEATH'G OVER EXISTING DECK, SHIM EX. DECK AS REQUIRED TO PROVIDE A PLANAR ROOF SUBSTRATE RIDGE TO GUTTER EAVE (TAKE DIPS OUT OF EXISTING ROOF).
4. INSTALL NEW STANDING SEAM METAL ROOF SYSTEM & UNDERLAYMENTS COMPLETE WITH ALL FLASHING & TRIMS. SUCCESSFUL BIDDER SHALL FURNISH PROPOSED HIP RIDGE DETAIL & DOUBLE SLOPE ROOF DETAIL FOR ARCHITECTURAL REVIEW PRIOR TO MATERIAL ORDER.

SEE SHEET 2 FOR ADDITIONAL SPECIFICATIONS.

GENERAL DEMOLITION NOTES

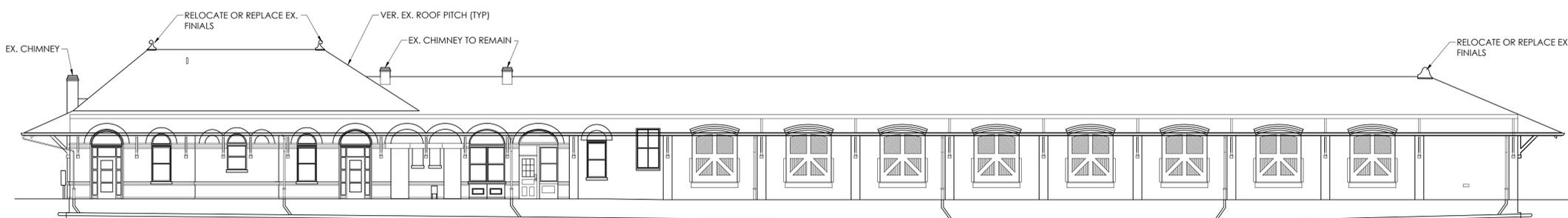
THE INTENT OF DEMOLITION ACTIVITIES GENERALLY IS TO PREPARE FOR NEW FINISHED WORK AND TO RETURN EXISTING DISTURBED AREAS TO A CONDITION TO MATCH EXISTING ADJACENT FINISHES.

1. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN FULL COOPERATION AND COORDINATION W/ OWNER. COORDINATE WORK TO PREVENT LOSS OR REDUCTION OF BUILDING USE. PROTECT ADJACENT SPACES FROM DUST AND DEBRIS.
2. PROTECT EXISTING STRUCTURE FROM DAMAGE DURING CONSTRUCTION ACTIVITIES. EXTREME CARE MUST BE TAKEN NOT TO DAMAGE OR DISTURB EXISTING EQUIPMENT WHILE PERFORMING WORK.
3. DURING REGULAR BUSINESS HOURS, MAINTAIN REQUIRED EXITS FROM BUILDING.
5. U.N.O. EXISTING VENTS THRU THE ROOF TO REMAIN. EACH VENT TO BE RELOCATED AS NECESSARY TO CENTER BETWEEN NEW SEAMS (TYP)
6. FIELD VERIFY EXISTING MISC. CONDUIT, PIPING, EQUIPMENT AND OTHER ITEMS THAT WILL NEED TO BE REMOVED AND OR RELOCATED.



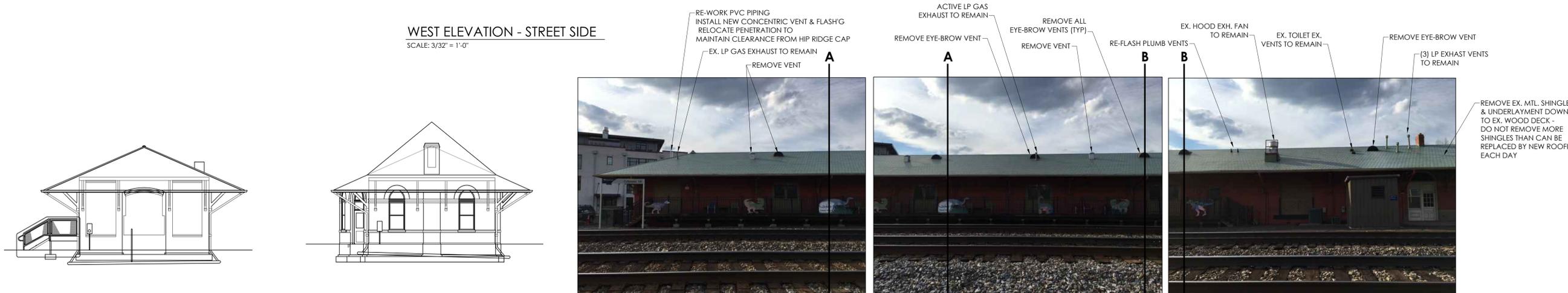
EAST ELEVATION - TRACK SIDE

SCALE: 3/32" = 1'-0"



WEST ELEVATION - STREET SIDE

SCALE: 3/32" = 1'-0"



SOUTH ELEVATION

SCALE: 3/32" = 1'-0"



NORTH ELEVATION

SCALE: 3/32" = 1'-0"



EAST ELEVATION -1

SCALE: NONE



EAST ELEVATION -2

SCALE: NONE



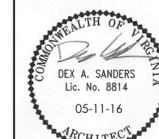
EAST ELEVATION -3

SCALE: NONE

FOR CONSTRUCTION



TOWN OF CULPEPER
DEPOT ROOF REPLACEMENT
109 COMMERCE STREET
CULPEPER, VIRGINIA 22701



REVISIONS:

DRAWN: -
CHECKED: DAS
SCALE: NOTED
DATE: 05-11-16
PROJECT #: 1601

ROOF REPLACEMENT PLANS & ELEVATIONS

PROJECT OUTLINE SPECIFICATIONS (** INDICATES SUBMITTAL REQUIRED)

GENERAL BID & PRICING INFORMATION:

- REVIEW SITE CONDITIONS BEFORE SUBMITTING BID.
- SITE WILL BE OCCUPIED DURING CONSTRUCTION. TAKE MEASURES TO PROTECT EXISTING AND ADJACENT FACILITIES, VEHICLES & PEOPLE. PROTECT EXISTING FACILITY FROM WATER INFILTRATION AT ALL TIMES DURING RE-ROOFING.
- FOLLOW SPECIFIED PRODUCT MANUFACTURER'S RECOMMENDATIONS FOR APPLICATION AND PREPARATION.
- LEAVE THE SITE CLEAN DAILY. REMOVE ALL DEBRIS INCLUDING NAILS, SCREWS & FASTENERS.
- REMOVE ALL DEBRIS FROM PUBLIC STREET & WALKS AT ALL TIMES DURING CONSTRUCTION.
- COORDINATE ANY REQUIRED UTILITY COVERING OR STREET CLOSURES WITH THE TOWN OF CULPEPER.
- CONTRACTOR SHALL FILE, OBTAIN AND PAY FOR ANY PERMITS OR FEES NECESSARY TO PERFORM THIS WORK INCLUDING PERMITS REQUIRED TO CLOSE STREETS OR FOR PARKING SPACES.
- EXISTING ROOF DESIGN LOAD IS UNKNOWN. CAUTION IS ADVISED WHEN STAGING MATERIALS ON THE ROOF. DO NOT CREATE A CONCENTRATED ROOF LOAD CONDITION BY STACKING MATERIALS IN CONCENTRATED AREAS.

02010 - SITE WORK

- NO SITE WORK IS A PART OF THIS CONTRACT. CONTRACTOR SHALL COORDINATE BUILDING ACCESS, MATERIAL STAGING, DEBRIS DISPOSAL, UTILITY PROTECTION & PARKING WITH OWNER.
- PROTECT PEDESTRIANS, VEHICLES, PUBLIC WAYS & EXISTING STRUCTURES AT ALL TIMES DURING THE PERFORMANCE OF THIS WORK. ERECT BARRIERS & PROVIDE DIRECTIONAL SIGNS & FLAGMEN NECESSARY TO PROTECT BUILDING EXITS & PUBLIC SIDEWALKS.
- COORDINATE WITH THE RAILROAD SHOULD ANY WORK BE PERFORMED IN THE RAIL R.O.W.
- RESTORE ANY DAMAGE CAUSED TO THE EXISTING SITE OR STRUCTURE DURING THE EXECUTION OF THIS WORK TO THE OWNER'S SATISFACTION.

02550 - BUILDING UTILITIES

- CONTRACTOR SHALL COORDINATE ANY BUILDING UTILITY INTERRUPTIONS WITH OWNER.
- PROTECT ALL EXIST. SERVICES TO REMAIN.
- CONTRACTOR SHALL CAREFULLY EXAMINE THE SITE TO DETERMINE EXISTING CONDITIONS AND FULL EXTENT OF WORK REQUIRED.

03300 CONCRETE (NOT USED)

04200 UNIT MASONRY (NOT USED)

05000 METALS

- SHOP FABRICATED EQUIPMENT PLATFORM TO BE CONSTRUCTED OF GALVANIZED STEEL.

06000 WOOD

- FIRMLY ATTACH REPLACEMENT WOOD SUBSTRATE, CANT STRIPS & NAILERS TO SOLID STUDS AND BLOCKING WITH STAINLESS STEEL OR HOT DIPPED GALV. SCREW TYPE FASTENERS.
- NEW SHEATH'G TO BE MIN. $\frac{1}{2}$ " OSB APA RATED EXPOSURE 1. SCREW TO EXISTING ROOF DECK WITH COATED, SS OR GALVANIZED SCREWS AT 6" OC EDGES AND 12" OC CENTER.
- ALL NEW NAILERS, CANT STRIPS BLOCKING & FRAMING TO BE PRESERVATIVE TREATED.

07210 BUILDING INSULATION

- IF EXISTING INSULATION IS DISTURBED OR MISSING WHEN REPLACING ROOF DECKING, CONTRACTOR SHALL REPLACE INSULATION TO MATCH EXISTING.

07610 METAL ROOFING **

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- Drawings and other Contract Documents, listed in the agreement between the Owner and Contractor, apply to this Section.

1.2 SUMMARY

- Section includes standing-seam metal roof panels.

1.3 DESIGN AND PERFORMANCE REQUIREMENTS

- Air Infiltration:
 - <.01 cfm/sf @ 20 psf pressure differential per ASTM E 1680
 - Water Resistance:
 - No water penetration under 5 gal/hr spray at 20 psf pressure differential per ASTM E 1646
 - Static Water Pressure Head Test:
 - No leakage up to 6 hours per ASTM E 2140-01

1.1 SUBMITTALS

- Product Data: For each type of product.
- Include construction details, material descriptions, dimensions of individual components and profiles, and finishes for each type of panel and accessory.
- Shop Drawings:
 - Include fabrication and installation layouts of metal panels; details of edge conditions, joints, panel profiles, corners, anchorages, attachment system, trim, flashings, closures, and accessories; and special details.
 - Accessories: Include details of the flashing, trim, and anchorage systems, at a scale of not less than 1-1/2 inches per 12 inches.
 - If a WTW is required, shop drawings or fabric standard details must be reviewed by the manufacturer prior to installation
 - Samples: For each type of exposed finish required, prepared on Samples of size indicated below.
 - Metal Panels: 12 inches long by actual panel width. Include clips, fasteners, closures, and other metal panel accessories.
 - Include similar Samples of trim and accessories involving color selection.
 - Product Test Reports: For each product, for tests performed by a qualified testing agency.
 - Field quality-control reports.
 - Sample Warranties: For special warranties.
 - Maintenance Data: For metal panels to include in maintenance manuals.
 -

1.2 QUALITY ASSURANCE

- Installer Qualifications: **Installer of sheet metal roofing for a minimum of 10 years documented experience on projects of similar scope and scale.** Installer shall have a written employee Safety Manual and shall have a minimum of 5 years demonstrated roof warranty service history record with references provided upon request.
- Panel Manufacturer: Minimum of 10 years experience in manufacturing architectural roof panels in a permanent stationary indoor facility. Provide facility information if requested.

1.3 DELIVERY, STORAGE, AND HANDLING

- Deliver components, metal panels, and other manufactured items so as not to be damaged or deformed. Package metal panels for protection during transportation and handling.
- Unload, store, and erect metal panels in a manner to prevent bending, warping, twisting, and surface damage.
- Store panels, flashings and accessories in a safe, dry environment under a waterproof breathable covering to prevent water damage. Allow for adequate ventilation to prevent condensation. Panels and flashings with strippable film shall not be stored in direct sunlight.
- Remove strippable protective covering on metal panels during installation.
- Upon receipt of delivery of metal panel system, and prior to signing the delivery ticket, the installer is to examine each shipment for damage and for completion of the consignment.

1.4 FIELD CONDITIONS

- Weather Limitations: Proceed with installation only when existing and forecasted weather conditions permit assembly of metal panels to be performed according to manufacturers' written instructions and warranty requirements.

1.5 COORDINATION

- Coordinate sizes and locations of roof curbs, equipment supports, and roof penetrations with actual equipment provided.
- Coordinate metal panel installation with rain drainage work, flashing, trim, construction of soffits, and other adjoining work to provide a leakproof, secure, and noncorrosive installation.

1.6 WARRANTY (Written Warranties shall be provided before final payment is issued).

- Material and Workmanship Warranty: Manufacturer agrees to repair or replace components of metal panel systems that fail in materials or workmanship within specified warranty period.
 - Failures include, but are not limited to, the following:
 - Structural failures including rupturing, cracking, or puncturing.
 - Deterioration of metals and other materials beyond normal weathering.
 - Warranty Period: Two years from date of Substantial Completion.
- Paint Finish Warranty: Paint shall not chip, crack, peel or fade for 30 years from date of Substantial Completion. If metallic colors are used, the "fade" part of the warranty shall be removed.
 - 30 years for Kynar type finish.
- Installer's Warranty: Submit installer's warranty, signed by Installer, covering the Work of this Section, including all components of roof panels, flashing and accessories for the following warranty period:
 - Warranty Period: Full no cost to Owner repair and /or replacement (materials and labor) to cover roof leaks, including penetrations, within five (5) years from date of Substantial Completion & acceptance by Owner of roof installation. No cost warranty shall be limited to weather related events but shall not cover tornado damage or vandalism.
 - Weather-tight Warranty: Submit installer's warranty, signed by Installer, covering the Work of this Section, including all components of roof panels for the following warranty period
 - Warranty Period: Full no cost to Owner repair (material only) to cover roof leaks beyond the Installer's Warranty period - Twenty (20) years from date of Substantial Completion.

PROJECT OUTLINE SPECIFICATIONS (** INDICATES SUBMITTAL REQUIRED)

PART 2 - PRODUCTS

- MANUFACTURER: FABRAL OR EQ. DISTRIBUTED BY NB HANDY

STANDING-SEAM METAL ROOF PANELS

Senti-guard ML 150 Mechanical Lock Panel - 180 degree mechanically seamed (material manufactured by FABRAL and distributed by NB Handy, Richmond, VA - 804.400.9022)

- Panel Coverage: **116** inches.
- Panel Height: **1-1/2** inch.
- AZ50 Galvalume Steel:
 - Material Gauge: **24** gauge.
 - Exterior Finish: **FABRAL PATINA GREEN S14** 70% KYNAR FINISH

SNOW GUARDS

FABRAL AP TYPE CLAMP ON GUARDS EA. SEAM STAGGERED 12" OC

2.1 MATERIALS

- Metallic-Coated Steel Sheet: aluminum-zinc alloy-coated steel sheet (Galvalume) complying with ASTM A 792/A 792M, Class AZ50/AZ55 coating designation; structural quality. Pre-painted by the coil-coating process to comply with ASTM A 755/A 755M.

2.2 MISCELLANEOUS MATERIALS

- Miscellaneous Metal Sub-framing and Furring: Provide manufacturer's standard sections as required for support and alignment of metal panel system.
- Panel Accessories: Provide components required for a complete, weather-tight panel system including trim, copings, fasciae, mullions, sills, corner units, panel clips, flashings, sealants, gaskets, fillers, panel closures, and similar items. Match material and finish of metal panels unless otherwise indicated.
- Flashing and Trim: Provide flashing and trim formed from same material as metal panels as required to seal against weather and to provide finished appearance. Locations include, but are not limited to, eaves, rakes, corners, bases, framed openings, ridges, fasciae, and fillers. Finish flashing and trim with same finish system as adjacent metal panels.
- Panel Fasteners: Self-tapping screws designed to withstand design loads.
- Panel Sealants: Provide sealant type recommended by manufacturer that are compatible with panel materials, are non-staining, and do not damage panel finish.
 - Sealant Tape: Buytl
 - Joint Sealant: One Part Poly
 - Butyl-Rubber-Based, Solvent-Release Sealant: ASTM C 1311.

2.3 FABRICATION

- General: Provide field or factory-formed metal roof panel system complying with ASTM E 1514 requirements.
- Provide panel profile, including major ribs and intermediate stiffening ribs, if any, for full length of panel.
- Form panels in continuous lengths; endlaps are not permitted.
- Fabricate metal panel joints with factory-installed butyl sealant that provide a weatherlight seal and prevent metal-to-metal contact, and that minimize noise from movements.
- Sheet Metal Flashing and Trim: Fabricate flashing and trim to comply with manufacturer's recommendations and recommendations in SMACNA's "Architectural Sheet Metal Manual" that apply to design, dimensions, metal, and other characteristics of item indicated.
 - Form exposed sheet metal accessories that are without excessive oil canning, buckling, and tool marks and that are true to line and levels indicated, with exposed edges folded back to form hems.
 - Seams for Other Than Aluminum: Fabricate nonmoving seams in accessories with flat-lock seams. Tin edges to be seamed, form seams, and solder.
 - Sealed Joints: Form non-expansion, but movable, joints in metal to accommodate sealant and to comply with SMACNA standards.
 - Conceal fasteners and expansion provisions where possible. Exposed fasteners are not allowed on faces of accessories exposed to view.
 - Fabricate cleats and attachment devices from same material as accessory being anchored or from compatible, noncorrosive metal recommended in writing by metal panel manufacturer.
 - Size: As recommended by SMACNA's "Architectural Sheet Metal Manual" or metal panel manufacturer for application, but not less than thickness of metal being secured.

2.4 FINISHES

- Protect mechanical and painted finishes on exposed surfaces from damage by applying a strippable, temporary protective covering before shipping.
- Appearance of Finished Work: Roofing panels shall match the accepted submitted sample. Noticeable variations in same piece are unacceptable. Variations in appearance of other components are acceptable if they are within the range of approved Samples and are assembled or installed to minimize contrast.

A. Steel Panels and Accessories:

- Two-Coat Fluoropolymer: AAMA 621. Fluoropolymer finish containing not less than 70 percent PVDF resin by weight in color coat. Prepare, pretreat, and apply coating to exposed metal surfaces to comply with coating and resin manufacturers' written instructions.
- Concealed Finish: Apply pretreatment and manufacturer's standard white or light-colored acrylic or polyester backer finish consisting of prime coat and wash coat with a minimum total dry film thickness of 0.5 mil.

PART 3 - EXECUTION

3.1 EXAMINATION

- Examine substrates, areas, and conditions, with installer present, for compliance with requirements for installation tolerances, metal panel supports, and other conditions affecting performance of the Work.
 - Examine primary and secondary roof framing to verify that rafters, purlins, angles, channels, and other structural panel support members and anchorages have been installed within alignment tolerances required by metal roof panel manufacturer.
 - Examine solid roof sheathing to verify that sheathing joints are supported by framing or blocking and that installation is within flatness tolerances required by metal roof panel manufacturer.
 - Examine roughing-in for components and systems penetrating metal panels to verify actual locations of penetrations relative to seam locations of metal panels before installation.
 - Proceed with installation only after unsatisfactory conditions have been corrected.

3.2 PREPARATION

- Miscellaneous Supports: Install sub-framing, furring, and other miscellaneous panel support members and anchorages according to ASTM C 754 and metal panel manufacturer's written recommendations.

3.3 METAL PANEL INSTALLATION

- General: Install metal panels according to manufacturer's written instructions in orientation, sizes, and locations indicated. Install panels perpendicular to supports unless otherwise indicated. Anchor metal panels and other components of the Work securely in place, with provisions for thermal and structural movement.
 - Shim or otherwise plumb substrates receiving metal panels.
 - Flash and seal metal panels at perimeter of all openings. Refer to manufacturers recommendations.
 - Install flashing and trim as metal panel work proceeds.
 - Panels to be in one continuous length, long length roofs must be field formed by Manufacturer.
 - Provide weather-tight escutcheons for pipe- and conduit-penetrating panels.
 - Fasteners:
 - Steel Panels: Use stainless-steel fasteners for surfaces exposed to the exterior; use galvanized- steel fasteners for surfaces exposed to the interior.
 - Anchor Clips: Anchor metal roof panels and other components of the Work securely in place, using manufacturer's approved fasteners according to manufacturers' written instructions.
 - Metal Protection: Where dissimilar metals contact each other or corrosive substrates, protect against galvanic action as recommended in writing by metal panel manufacturer.
 - Standing-Seam Metal Roof Panel Installation: Fasten metal roof panels to supports with concealed clips at each standing-seam joint at location, spacing, and with fasteners recommended in writing by manufacturer.
 - Install clips to supports with self-tapping fasteners.
 - Install pressure plates at locations indicated in manufacturer's written installation instructions.
 - Seamed Joint: Crimp standing seams with manufacturer-approved, motorized seamer tool so metal roof panels, and factory-applied sealant are completely engaged.
 - Accessory Installation: Install accessories with positive anchorage to building and weather tight mounting, and provide for thermal expansion. Coordinate installation with flashings and other components.
 - Flashing and Trim: Comply with performance requirements, manufacturer's written installation instructions, and SMACNA's "Architectural Sheet Metal Manual." Provide concealed fasteners where possible, and set units true to line and level as indicated. Install work with laps, joints, and seams that will be permanently watertight and weather resistant.
- Install exposed flashing and trim that is without buckling and tool marks, and that is true to line and levels indicated, with exposed edges folded back to form hems. Install sheet metal flashing and trim to fit substrates and achieve waterproof and weather-resistant performance.
- Expansion Provisions: Provide for thermal expansion of exposed flashing and trim. Space movement joints at a maximum of 10 feet with no joints allowed within 24 inches of corner or intersection. Where lapped expansion provisions cannot be used or would not be sufficiently weather resistant and waterproof, form expansion joints of intermeshing hooked flanges, not less than 1 inch deep, filled with mastic sealant (concealed within joints).

3.4 ERECTION TOLERANCES

- Installation Tolerances: Shim and align metal panel units within installed tolerance of 1/4 inch in 20 feet on slope and location lines as indicated and within 1/8-inch offset of adjoining faces and of alignment of matching profiles.

3.5 FIELD QUALITY CONTROL

- Manufacturer's Field Service: Engage a factory-authorized service representative to inspect metal roof panel installation, including accessories. Report results in writing.
- Remove and replace applications of metal roof panels where tests and inspections indicate that they do not comply with specified requirements.
- Prepare inspection reports.
- Installer must have installation shop drawings on site at all times.

3.6 CLEANING AND PROTECTION

- Remove temporary protective coverings and strippable films, if any, as metal panels are installed, unless otherwise indicated in manufacturer's written installation instructions. On completion of metal panel installation, clean finished surfaces as recommended by metal panel manufacturer. Maintain in a clean condition during construction.
- Replace metal panels that have been damaged or have deteriorated beyond successful repair by finish touchup or similar minor repair procedures.

PROJECT OUTLINE SPECIFICATIONS (CONTINUED)

07900 CAULKING & SEALANTS

- ALL SEALANTS SHALL BE AS RECOMMENDED BY SYSTEM MANUFACTURER.

09900 PAINTING (NOT USED)

- ALL MATERIAL TO BE SHOP PAINTED.

FOR CONSTRUCTION

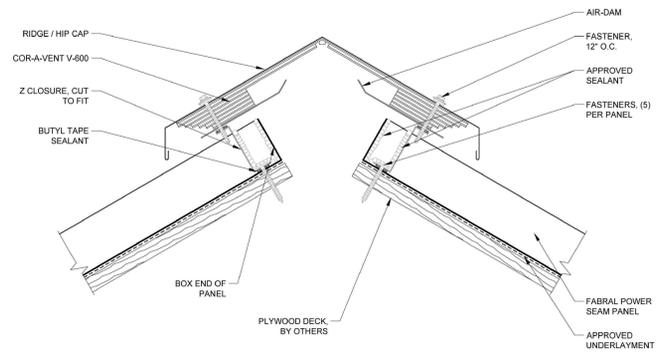


TOWN OF CULPEPER
 DEPOT ROOF REPLACEMENT
 109 COMMERCE STREET
 CULPEPER, VIRGINIA 22701



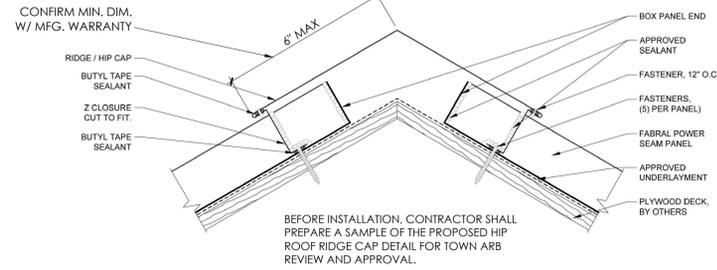
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DRAWN:	-
CHECKED:	DAS
SCALE:	NOTED
DATE:	05-11-16
PROJECT #:	1601

PROJECT SPECIFICATIONS

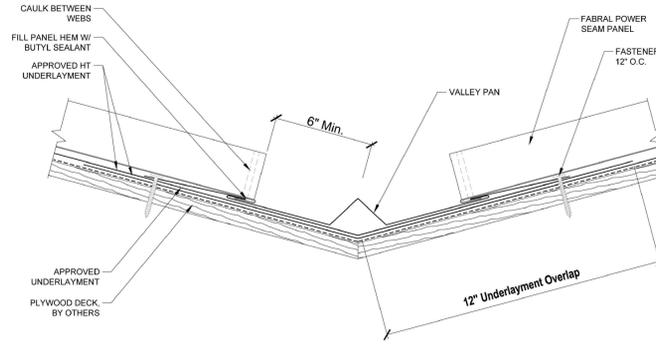


TYP. RIDGE VENT DETAIL
SCALE: N.T.S.

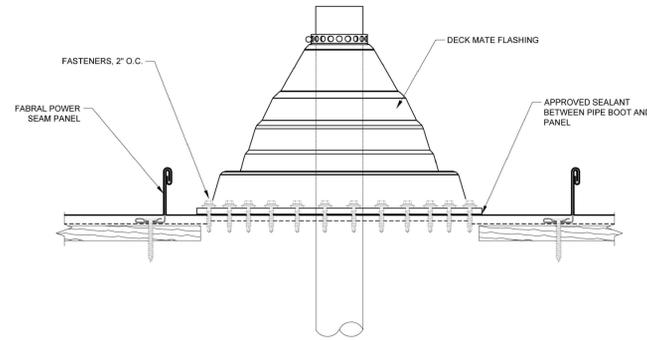
TYPICAL DETAILS NOTE:
TYPICAL ROOF INSTALLATION DETAILS SHOWN ON THIS SHEET ARE BASED ON SPECIFIED ROOFING. IF AN ALTERNATE MANUFACTURER IS APPROVED, DETAILS MAY NEED TO BE MODIFIED TO COMPLY WITH MANUFACTURER'S WARRANTY REQUIREMENTS.



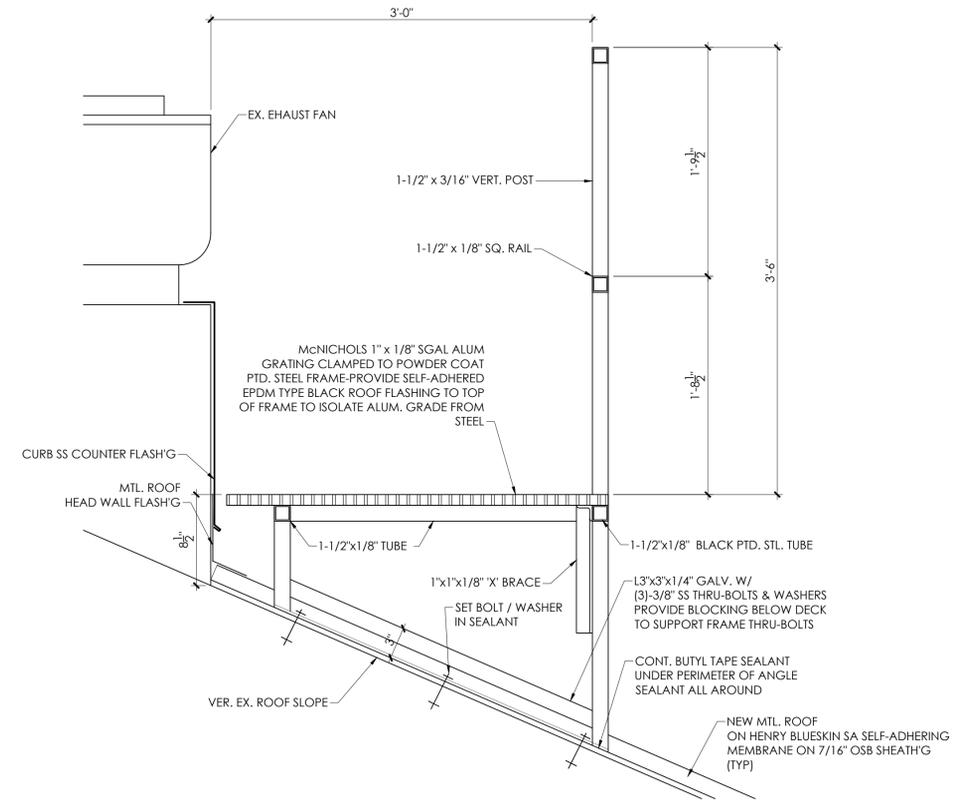
TYP. HIP RIDGE DETAIL
SCALE: N.T.S.



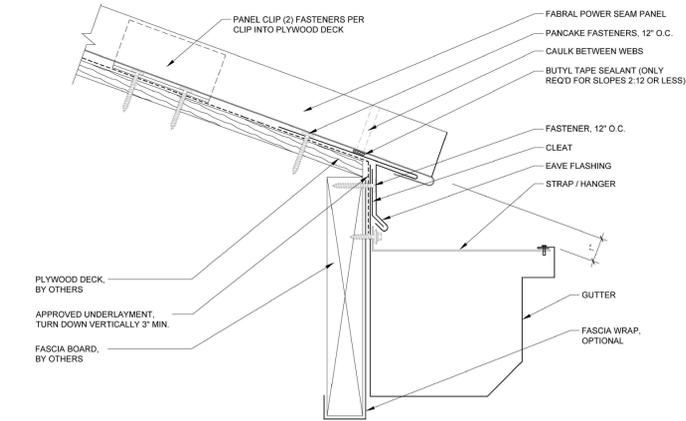
TYP. VALLEY FLASHING DETAIL
SCALE: N.T.S.



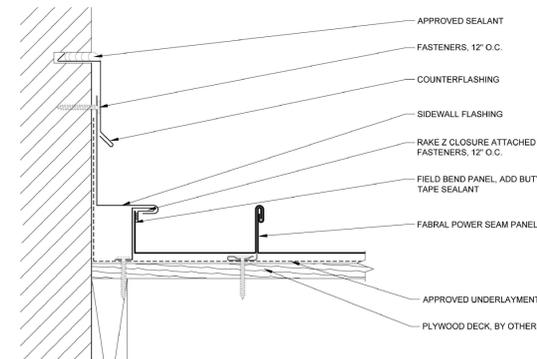
TYP. PIPE PENETRATION DETAIL
SCALE: N.T.S.



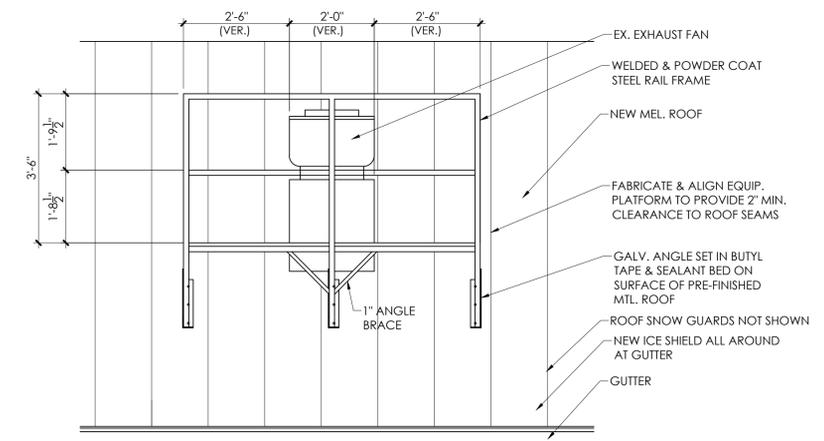
SECTION @ EQUIPMENT GUARD
SCALE: 1-1/2" = 1'-0"



TYP. EAVE DETAIL
SCALE: N.T.S.

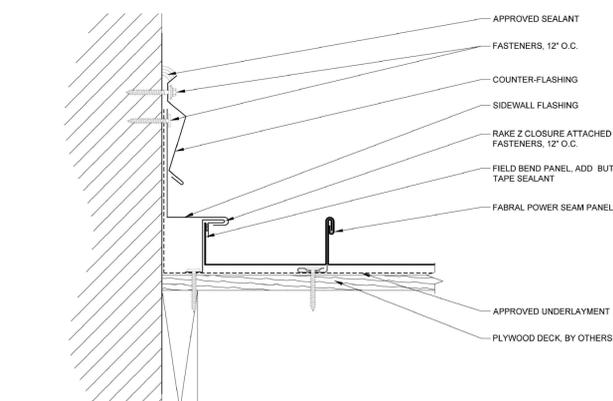


TYP. MASONRY SIDEWALL DETAIL
SCALE: N.T.S. (ROOF CURB & CHIMINEY SIMILAR)

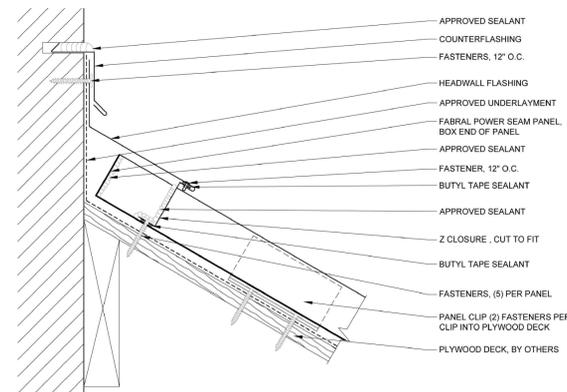


EQUIPMENT GUARD ELEVATION
SCALE: 1/2" = 1'-0"

- ROOF INSTALLATION NOTES:**
1. PROVIDE SELF ADHERING ICE SHIELD AT ALL GUTTER EAVES.
 2. PROVIDE CONT. ICE SHIELD IN ALL VALLEYS, ABOVE AND BELOW ROOF PITCH BREAKS AND AROUND ALL ROOF PENETRATIONS.
 3. SHOP FABRICATE EQUIPMENT PLATFORM & CAREFULLY SET ON ROOF TO AVOID SCRATCHES OR PUNCTURES TO NEW ROOFING.



TYP. SIDE WALL FLASHING DETAIL
SCALE: N.T.S. (ROOF CURB SIMILAR)



TYP. MASONRY HEADWALL DETAIL
SCALE: N.T.S. (ROOF CURB & CHIMINEY SIMILAR)

FOR CONSTRUCTION

SANDERS ARCHITECTURE PC
16125 RACCOON FORD RD
CULPEPER, VIRGINIA 22701
540-829-2590

**TOWN OF CULPEPER
DEPOT ROOF REPLACEMENT**
109 COMMERCE STREET
CULPEPER, VIRGINIA 22701



REVISIONS:

DRAWN: -
CHECKED: DAS
SCALE: NOTED
DATE: 05-11-16
PROJECT #: 1601

TYPICAL ROOF DETAILS